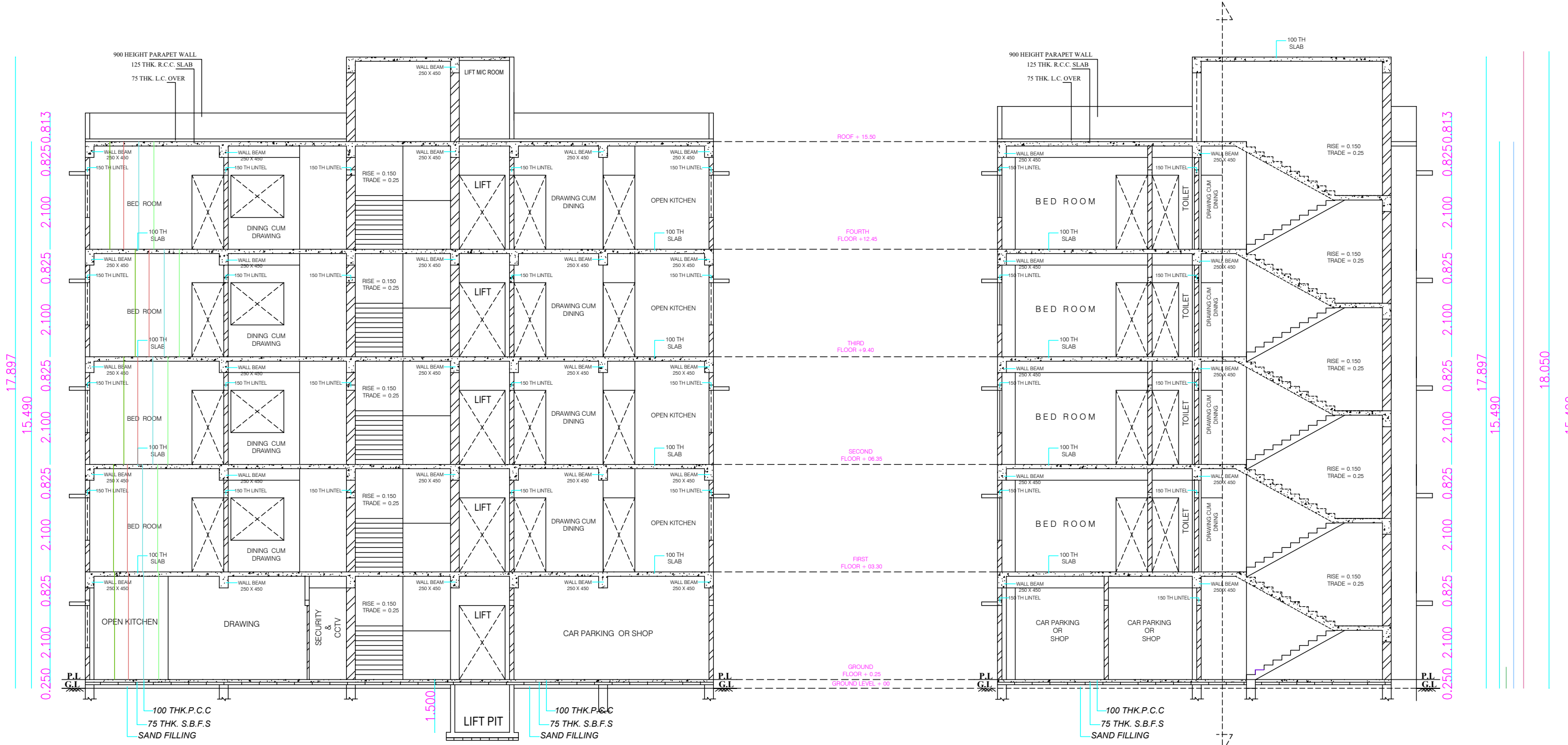


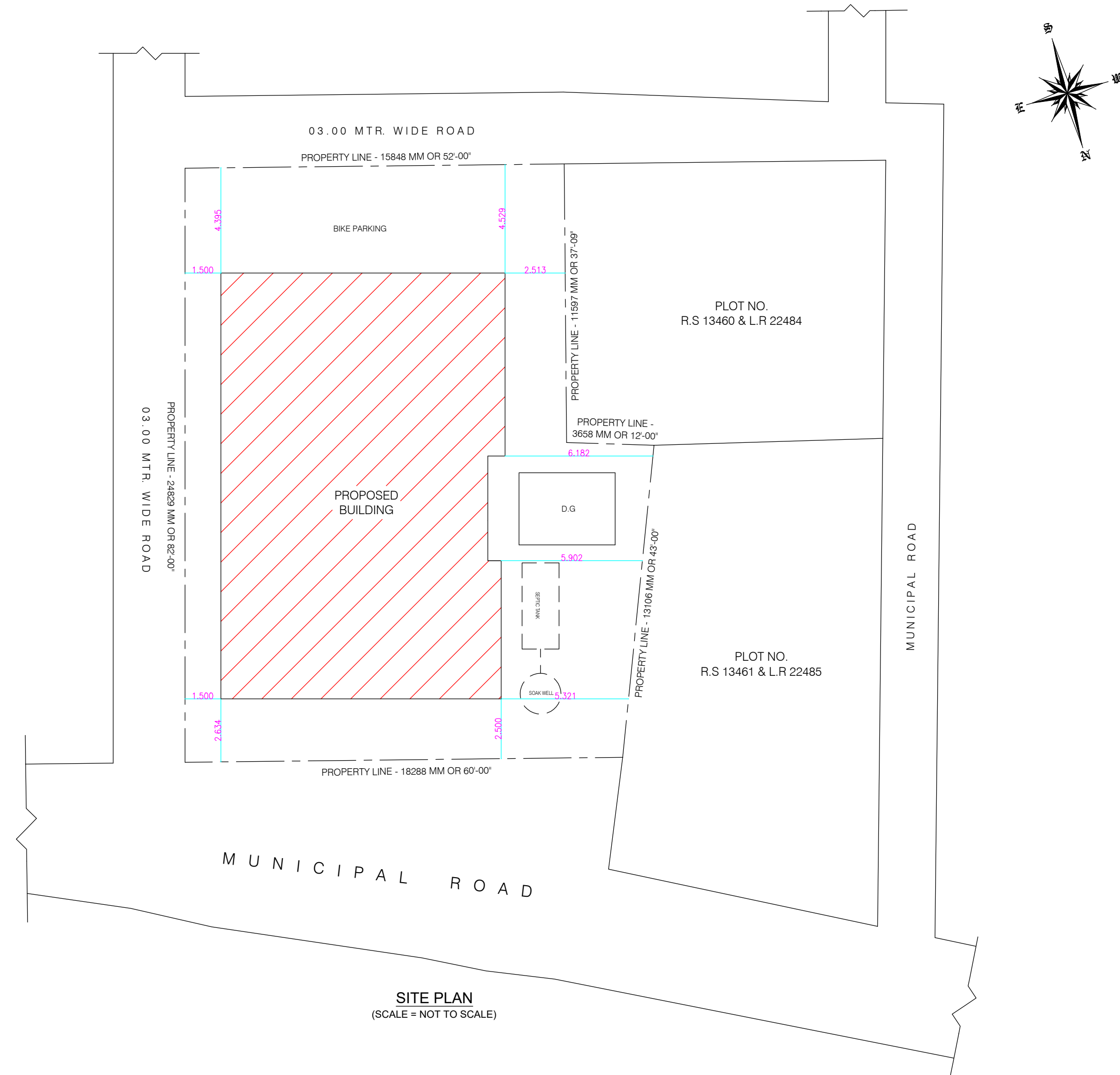


FRONT ELEVATION
SCALE 1:100

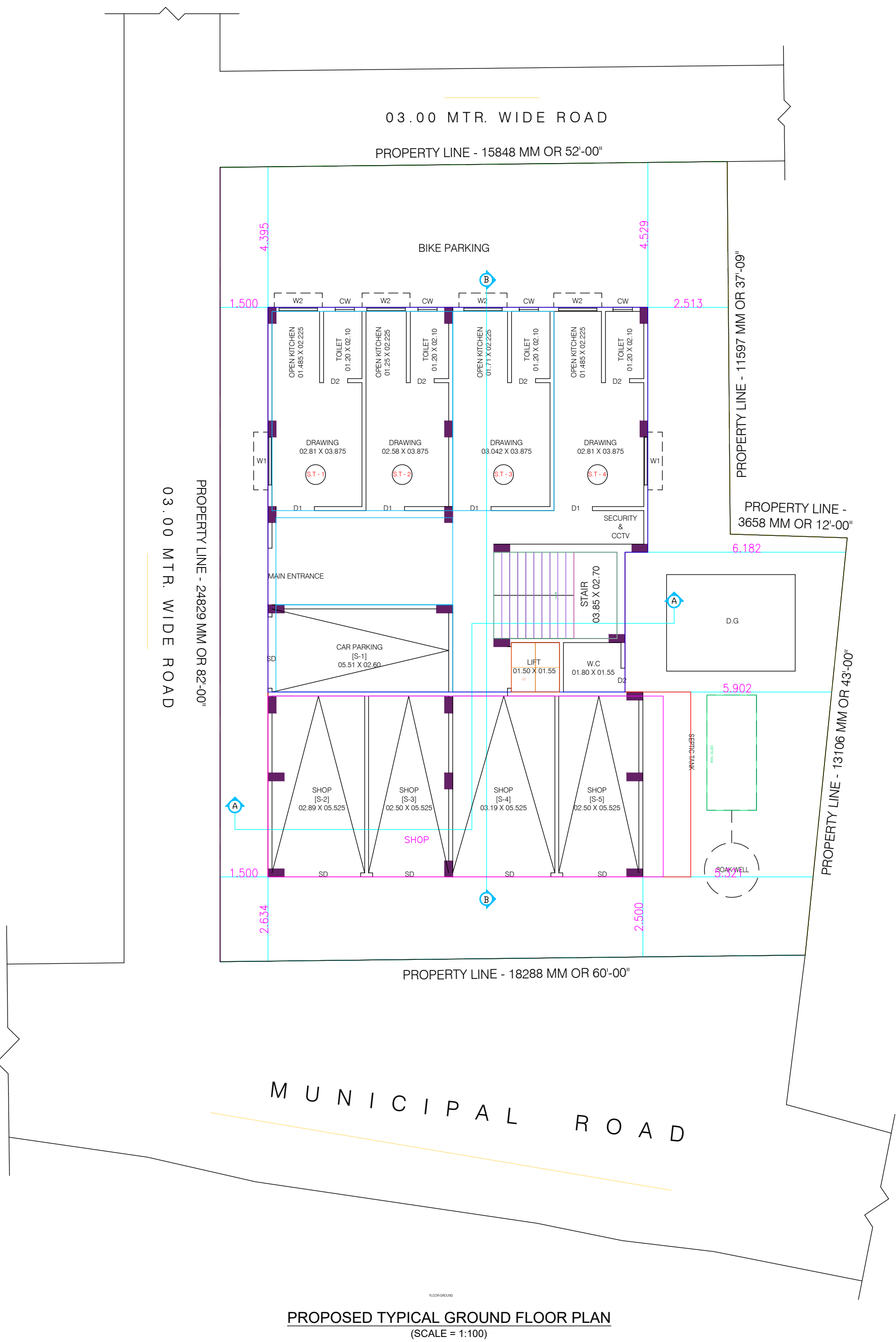


SECTION B-B
SCALE 1:100

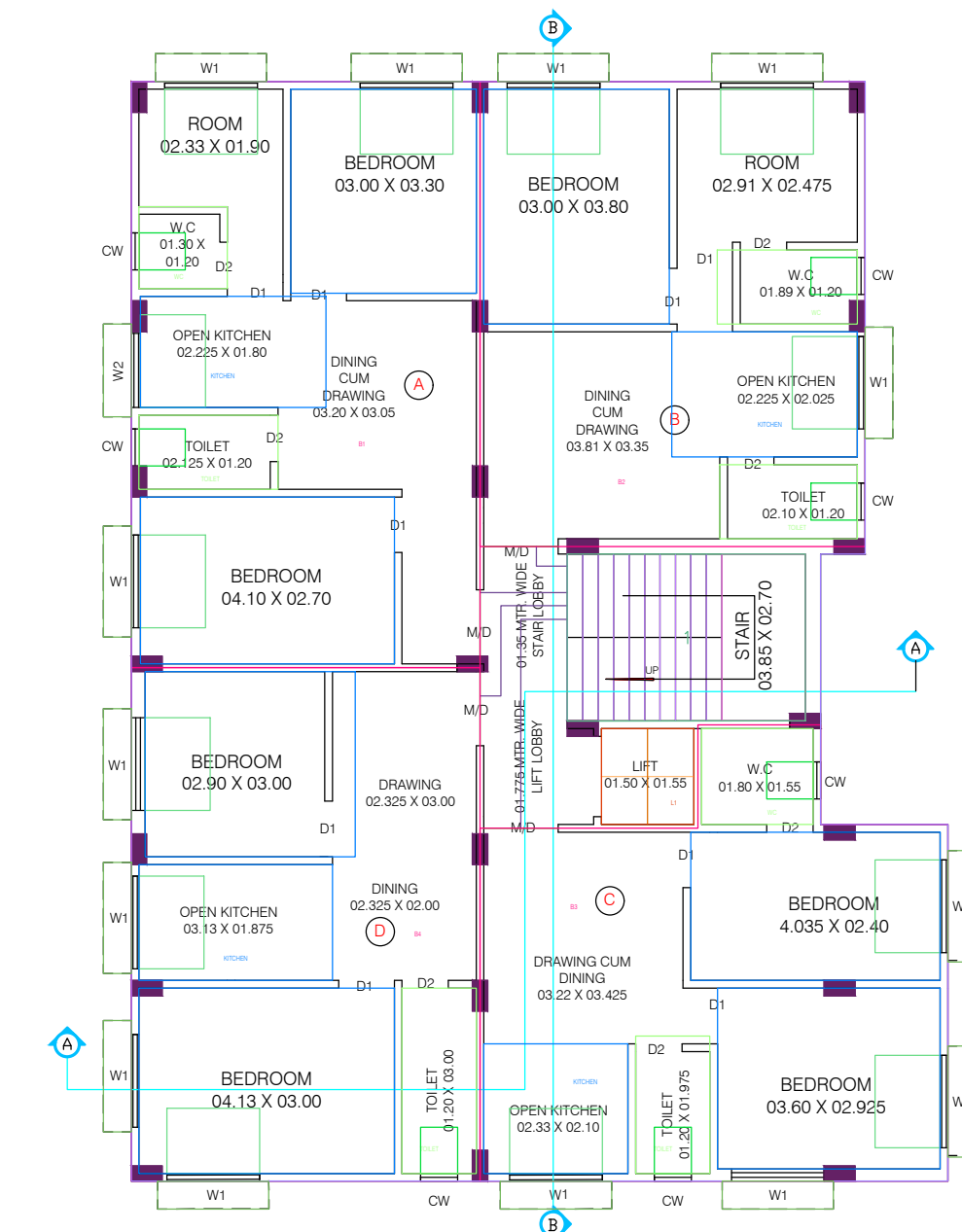
SECTION A-A
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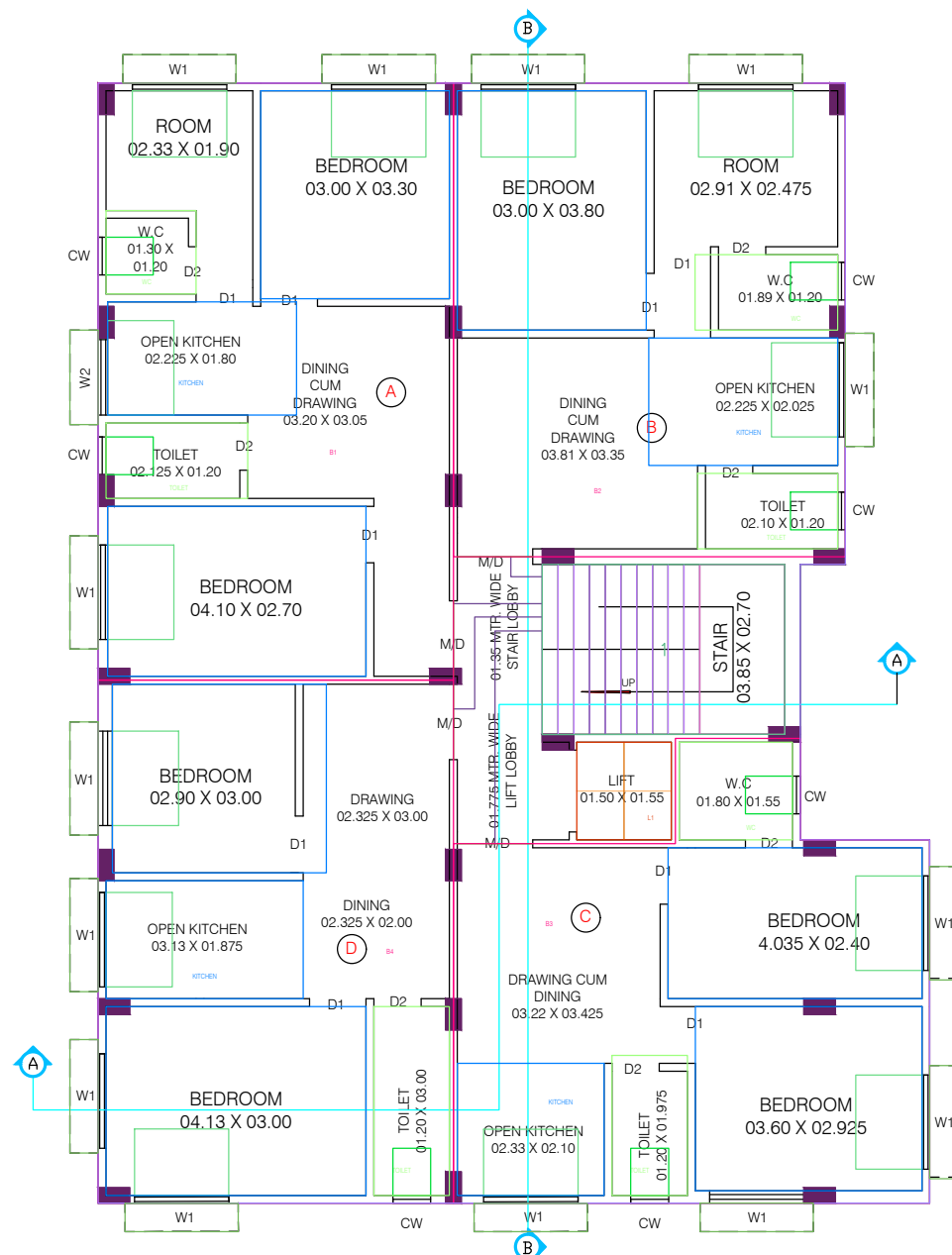
SITE PLAN
(SCALE = NOT TO SCALE)



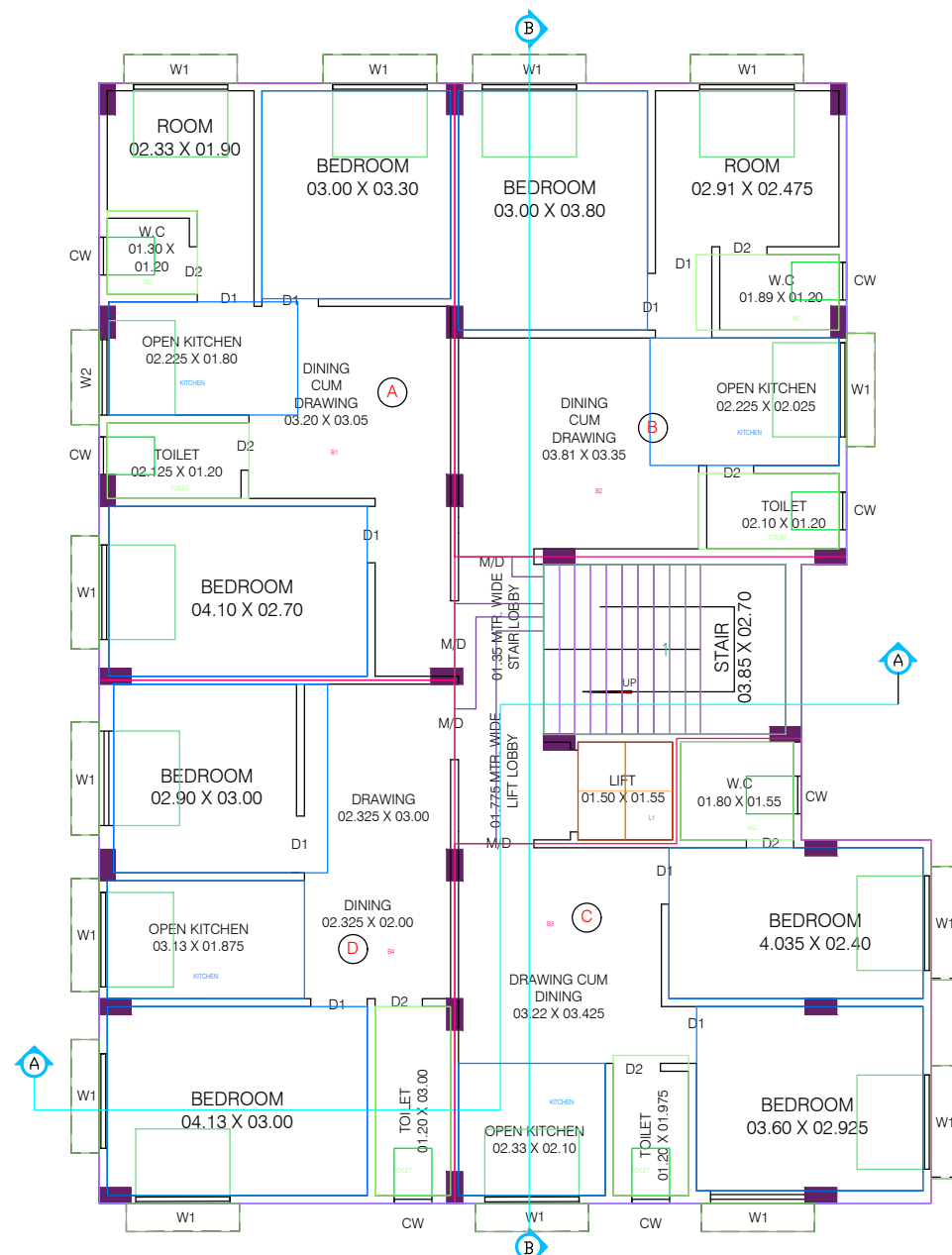
PROPOSED TYPICAL GROUND FLOOR PLAN
(SCALE = 1:100)



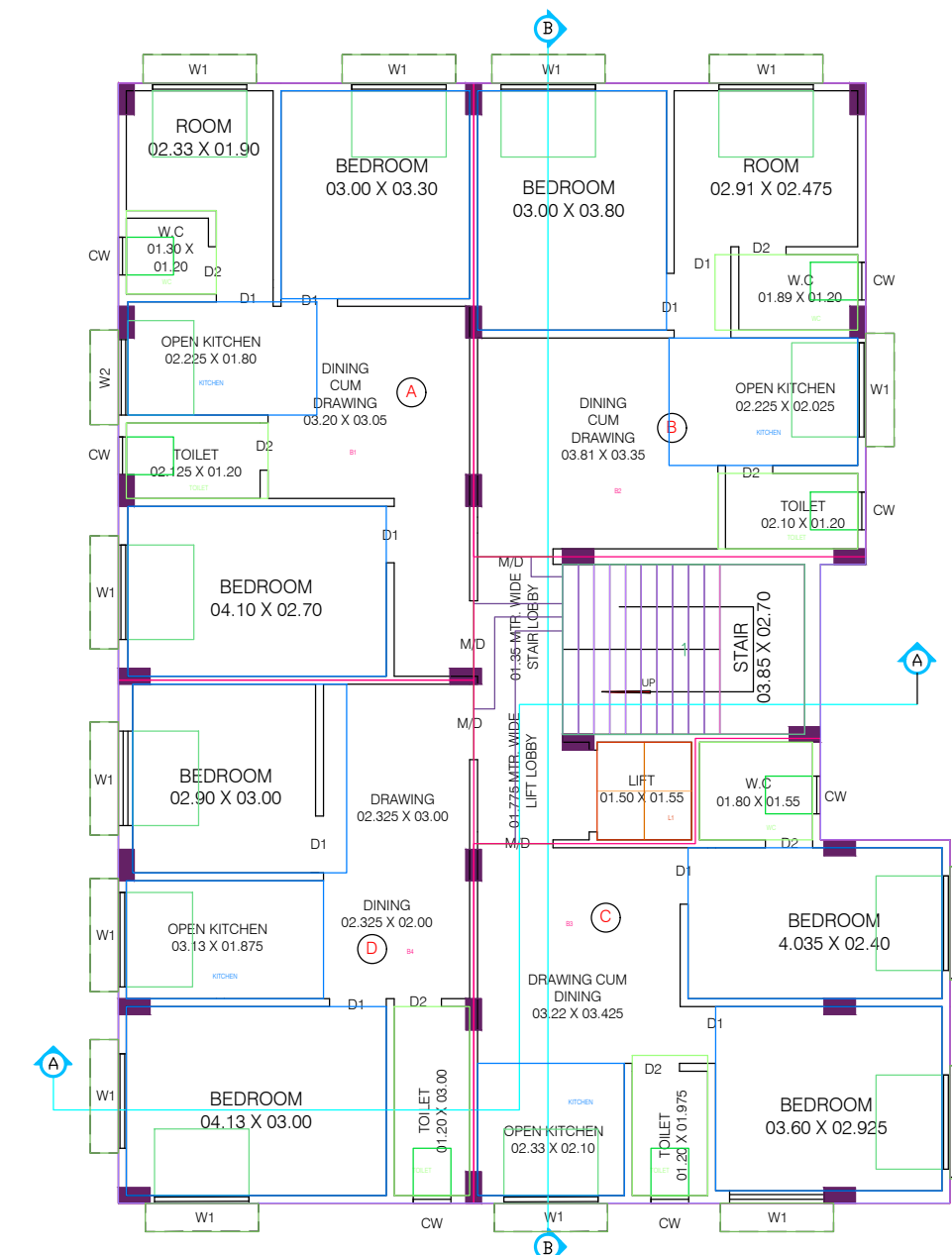
PROPOSED FIRST FLOOR PLAN
(SCALE = 1:100)



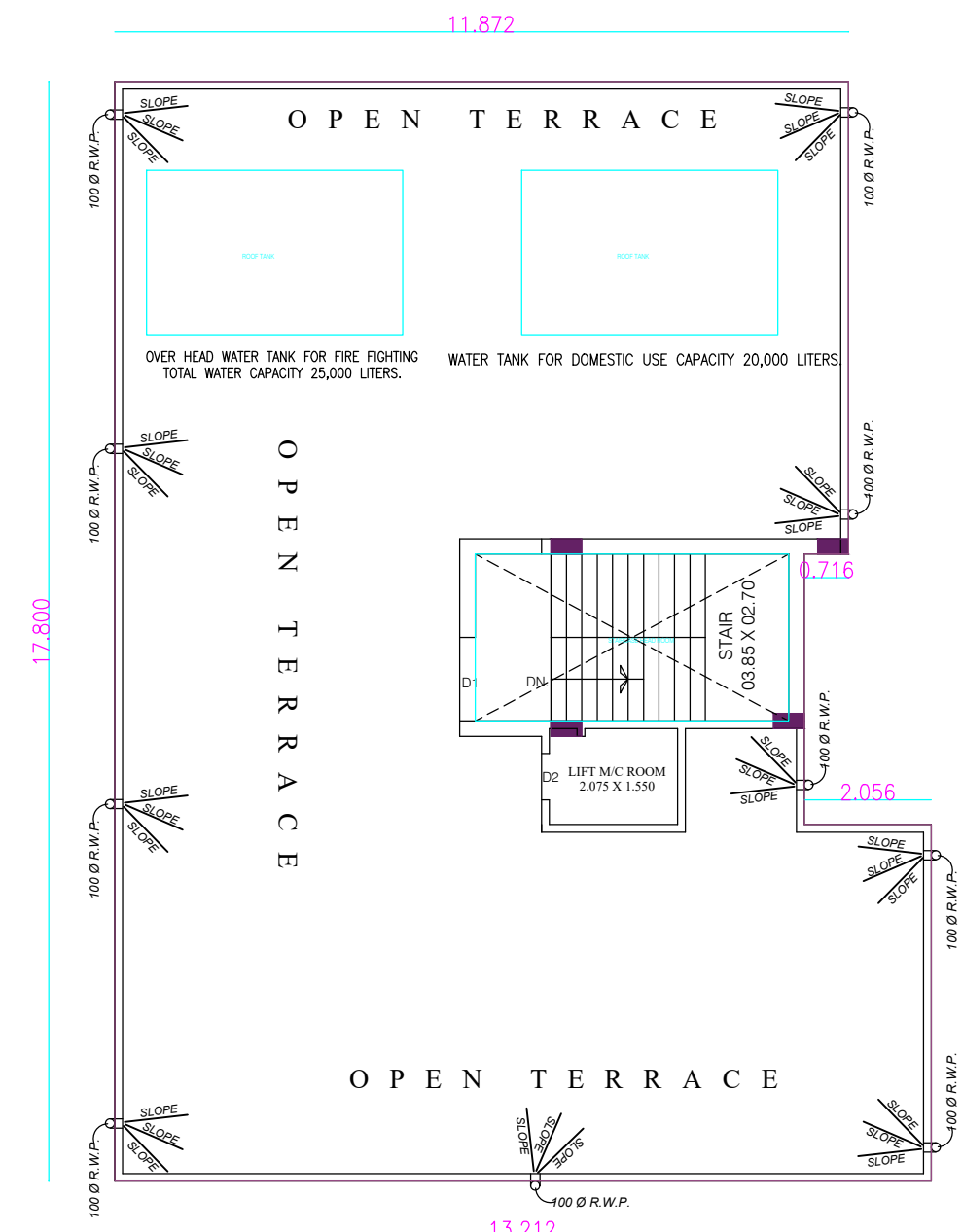
PROPOSED SECOND FLOOR PLAN
(SCALE = 1:100)



PROPOSED THIRD FLOOR PLAN
(SCALE = 1:100)



PROPOSED FOURTH FLOOR PLAN
(SCALE = 1:100)



ROOF PLAN
(SCALE = 1:100)

WORK SPECIFICATION

- ALL DIMENSIONS ARE IN METER & MILLIMETER
- ANY DISCREPANCY IN THE DRAWING SHALL BE INTIMATED TO E.I.C
- REINFORCEMENT SHALL BE TMT BAR OF GRADE Fe 500D.
- GRADE OF CONCRETE R.C.C M25 & P.C.C M15.
- REINFORCEMENT ARE INDICATED BY TWO NUMBERS.
- COVER TO REINFORCEMENT SHALL BE 25MM FOR SLAB & BEAM, FOR COLUMN 40MM.
- LAP LENGTH OF TENSILE REINFORCEMENTS SHOULD BE 65D & IN COMPRESSION 50D, WHERE 'D' IS THE DIA OF STEEL
- TOTAL NO OF COLUMN = 250X500 = 23 NOS
- ALL WORK SHOULD BE DONE AS PER I.S CODE & WEST BENGAL MUNICIPAL ACT.
- 200 TH BRICK WORK IN 1:6 CEMENT SAND MORTER & 125 & 75 TH BRICK WORKS IN 1:4 CEMENT SAND MORTAR.
- PLASTER IN 20 MM (INSIDE) / 15 MM (OUTSIDE) IN 1:6 CEMENT SAND MORTER & 10 MM (CEILING) IN 1:4 CEMENT SAND MORTAR.
- TRADE = 250 MM, RISER = 150 MM, LANDING SLAB = 125 MM TH, WAIST SLAB = 125 MM TH.
- SEPTIC TANK & SOAK WELL (100 USER) SHOULD BE DONE AS PER P.W.D SCHEDULE.
- WATER CEMENT RATIO SHOULD BE 0.40 TO 0.50 (M25)

TITLE BOX

ARCHITECTURAL PLAN FOR PROPOSED CONSTRUCTION OF (G+4) FLOOR (RESIDENTIAL BUILDING) OWNED BY SRI SRIGOBINDA DAS, S/O - SRI RAKHAL CHANDRA DAS, AT PROFESSOR COLONY, NEAR UDYAN LODGE, BISHNUPUR, IN PLOT NO.- R.S. 13460 & L.R. 22486, KHATIAN NO. 18602, MOUZA- BISHNUPUR MUNICIPALITY, J.L. NO.- 101 WARD NO - 03, HOLDING NO - 143, DIST. BANKURA, PLOT AREA = 434.64 SQM, COVERED AREA = 215.93 SQM.

AREA STATEMENT

TOTAL AREA OF LAND AS PER DEED.....0.105 ACRE
TOTAL AREA OF LAND AS PER (PHY. MSMT.)434.64 SQM
PROPOSED GROUND FLOOR BUILD-UP AREA.....215.93 SQM
PROPOSED FIRST FLOOR BUILD-UP AREA.....215.93 SQM
PROPOSED SECOND FLOOR BUILD-UP AREA.....215.93 SQM
PROPOSED THIRD FLOOR BUILD-UP AREA.....215.93 SQM
PROPOSED FOURTH FLOOR BUILD-UP AREA.....215.93 SQM
TOTAL BUILDUP AREA.....1079.65 SQM
GROUND COVERAGE.....49.68%
NO. OF TENEMENT.....24 NOS
HEIGHT (INCLUDING APPURTENANT STRUCTURE).....= 18.80M
HEIGHT (EXCLUDING APPURTENANT STRUCTURE).....= 15.49M

DOOR & WINDOW SCHEDULE

D1	= 0.90 X 2.100	W1	= 1.500 X 1.200
D2	= 0.750 X 2.100	W2	= 0.900 X 1.200
D3	= 1.050 X 2.100	W3	= 1.500 X 1.800
SD1	= 3.900 X 2.400	CW	= 0.900 X 0.450

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SIGNATURE OF THE OWNERS

CERTIFIED THAT I/WE SHALL NOT ON A LATER DATE MAKE ANY ADDITION OR ALTERATION TO THIS PLAN SO AS TO CONVERT IT FOR
ANY OTHER USE OR FOR ANY OTHER PURPOSE OR FOR ANY OTHER PURPOSE OR FOR ANY OTHER PURPOSE OR FOR ANY OTHER PURPOSE
CERTIFIED THAT I HAVE GONE THROUGH THE BUILDING RULES FOR BISHNUPUR MUNICIPALITY AND ALSO UNDERTAKE TO ABIDE BY
THESE RULES AND REGULATIONS AND AFTER CONSTRUCTION OF THE BUILDING
I/WE ALSO UNDERTAKE TO REPORT TO THE COMPETENT AUTHORITY OF THE DISTRICT MUNCIPALITY ALL THE CHANGES MADE IN THE
I/WE ALSO UNDERTAKE TO REPORT TO THE COMPETENT AUTHORITY OF THE DISTRICT MUNCIPALITY ALL THE CHANGES MADE IN THE
PROPERTY AS PER PLAN BISHNUPUR MUNICIPALITY WILL NOT BE LIABLE FOR ANY TYPE OF DAMAGE IF ANY DAMAGE OCCURS

SIGNATURE OF OWNERS